



INDEPENDENCE PARKS & OPEN SPACE MASTER PLAN

SECTION IX:
POPULATION PREDICTIONS

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9.1 POPULATION AND HOUSING PROJECTIONS FOR INDEPENDENCE, OREGON

The City of Independence has experienced relatively robust growth since 1990 which has slowed in recent years. The greatest period of growth was from the mid-1990's through the mid-2000's. Housing development and growth has slowed since the housing-led recession which began in 2007, but should be expected to return as the economy strengthens.

After growing at an average rate of roughly 3.5% between 1990 and 2010, the PSU Population Research Center estimates that growth has been essentially flat since 2010.

Section IX: Figure 1 – Population and Demographic Characteristics

POPULATION, HOUSEHOLDS, FAMILIES, AND YEAR-ROUND HOUSING UNITS					
	2000	2010	Growth Rate	2013	Growth Rate
	(Census)	(Census)	00-10	(Est.)	10-13
Population ¹	6,035	8,590	3.6%	8,585	0.0%
Households ²	1,994	2,857	3.7%	2,871	0.2%
Families ³	1,425	2,021	3.6%	2,031	0.2%
Housing Units ⁴	2,131	3,168	4.0%	3,168	0.0%
<i>Household Size (non-group)</i>	2.98	2.99	0.0%	2.99	0.0%
<i>Avg. Family Size</i>	3.41	3.45	0.1%	3.45	0.0%

PER CAPITA AND AVERAGE HOUSEHOLD INCOME					
	2000	2010	Growth Rate	2013	Growth Rate
	(Census)	(Census)	00-10	(Proj.)	10-13
Per Capita (\$)	\$13,790	\$17,418	2.4%	\$19,124	2.4%
Median HH (\$)	\$36,790	\$40,719	1.0%	\$42,406	1.0%

SOURCE: Census, PSU Population Research Center, and Johnson Economics

Households in the City of Independence are roughly 59% home owners, and 41% renters. The Census estimates that the housing stock consists of roughly 68% single family units, 23% multi-family units, and 5% mobile homes. (This data is from the 2012 American Community Survey, so the total unit count differs somewhat from **Figure 1** and **Figure 2**).

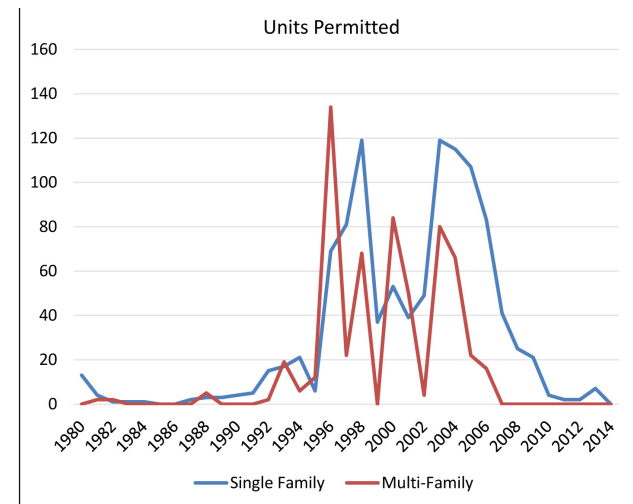
Residential building permits indicate that the city has produced an average of 30.5 single family units, and 17.0 multi-family units per year since 1980, however this production has been highly variable, as **Figure 3** shows. The increase in production from mid-1990's to the mid-2000's is apparent.

Section IX: Figure 2 – Share of Different Unit Types

Unit Type	# of Units	Share
1, detached	2,073	66.0%
1, attached	74	2.4%
Duplex	123	3.9%
3 or 4 units	250	8.0%
5 to 9	169	5.4%
10 to 19	158	5.0%
20 to 49	87	2.8%
50 or more	40	1.3%
Mobile home	165	5.3%
Boat, RV, van, etc.	0	0.0%
Total:	3,139	

Source: American Community Survey, 2012 5-year Estimates

Section IX: Figure 3 - Residential Permits



Source: US Census

Population Projections: As of 2007, the City of Independence has adopted a projected rate of population growth of 2.8% until 2030. Since 1990, the city has grown at an average rate of 3.4% (see **Figure 4**). However, as noted, this includes periods of rapid population growth and periods of very low population growth.

Section IX: Figure 4 - Population Growth

Census	Population	10-year Growth	Annual Rate
1990	4,425		
2000	6,035	36%	3.2%
2010	8,590	42%	3.6%
2013 (PSU Est.)	8,585		0.0%

Source: US Census

As any jurisdiction grows larger, the rate of growth tends to diminish. That is because the same amount of absolute growth (e.g. 100 new people) makes up a smaller percentage of the overall population as it grows larger. (For instance 100 new people is 10% growth in a town of 1,000 people. But when the town reaches 2,000 people, then 100 new people would be 5% growth.)

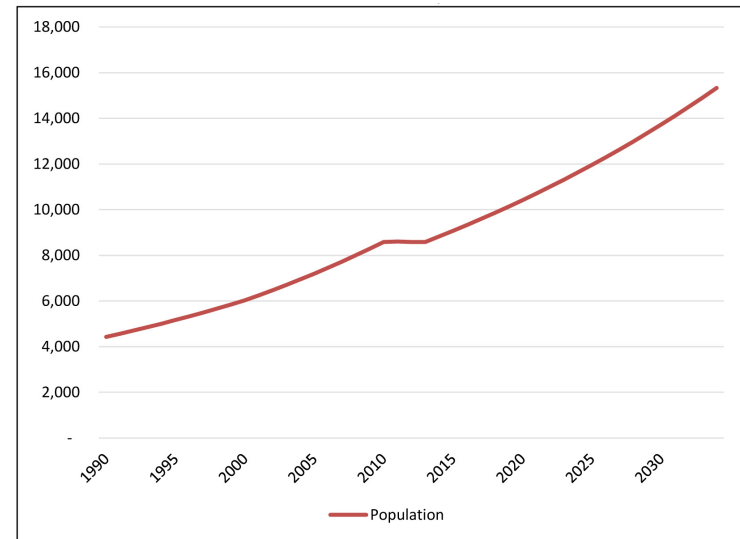
Therefore, it is natural to assume that the growth rate going forward will be less than that experienced recently. The City also concluded that the recent period, during which growth in some years reached 5% to 6% is not an accurate guide to future growth.

[The PSU Population Research Center is undertaking a new forecasting program which will provide statewide forecasts by jurisdiction for official use such as periodic review of the Comprehensive Plan. However, this program is not expected to address Polk County and surrounding counties until 2017.]

For these reasons, we find no compelling reason to counter the projected growth rate of 2.8% as adopted by the City.

Figure 5 shows what that average growth rate would look like over the next 20 years (until 2034). This chart shows the average growth rate (both past and projected). Actual growth will not be this smooth.

Section IX: Figure 5 - Population Growth (Past and Projected)



Source: US Census, PSU, City of Independence

Section IX: Figure 6 - Projected Populations Growth (2014-2034)

Census	Population	5-Year Growth
2014	8,585	
2019	10,132	1,547
2024	11,632	1,500
2029	13,355	1,722
2034	15,332	1,977
Growth:	6,747	

Source: US Census, PSU, City of Independence

Assuming a 2.8% growth rate would yield a 2034 population of roughly 15,330 people, growth of 6,750 people or 78% over the current population level. While this may seem high, the population grew 95% between 1990 and 2000. **Figure 6** shows the estimated population in five-year increments.

Household Projections: The average household size shows signs of falling nationwide as the birth rate decreases and the Baby Boom generation ages. This trend has been widespread and apparent for many decades.

However, there is some indication that the trend towards smaller and smaller households is in fact beginning to stabilize. There is, of course, a lower limit to how small households can become. In addition, immigrant households, which tend to be larger, make up an increasing share of new population growth.

According to the Census, the average household size in Independence has been stable at 2.99 persons since 1990, largely bucking the trend. (It has, in fact, grown slightly from 2.98 persons).

The average household size in Oregon is 2.47 persons. In general, larger cities and metro areas such as the Salem/Keizer or Portland areas tend to have smaller average household sizes. Smaller towns such as Independence tend to have larger household sizes and more family households.

Going forward, the conservative assumption is that the average household size will not increase, and will likely decrease slightly by 2034. However, the recent stability indicates that the decrease will likely be small.

Figure 7 shows estimated number of households by 2034, in five-year increments. This projection assumes a slow decline in average household size from 2.99 persons to 2.95 persons in 2034.

Section IX: Figure 7 - Projected Household Growth (2014-2034)

Census	Population	Est. Households
2014	8,585	2,871
2019	10,132	3,406
2024	11,632	3,921
2029	13,355	4,514
2034	15,332	5,197
Growth:	6,747	2,326

Source: US Census, PSU, City of Independence

Housing Projections: The projected number of households is the greatest predictor of housing units needed over time. These households will require a mixture of single family and multi-family units for ownership and rent.

The following table (**Figure 8**) presents estimates of unit type over the 20-year period. In keeping with State Goal 10 protocol, the share (percentage) of mobile home units is estimated to stay constant over this period.

There is an assumption of 5% unit vacancy for both rentals and ownership units, meaning that the number of new units needed does not exactly match the projected number of new households. Currently, the community has a much higher estimated rate of vacancy of 9%, but this is projected to moderate as growth returns.

Section IX: Figure 8 - Projected Housing Unit Growth (2014-2034)

Census	Estimated Households	Estimated # of Housing Units	Single Family Units	Multi-Family Units	Mobile Home Units
2014	2,871	3,168	2,167	835	167
2019	3,406	3,678	2,474	1,007	193
2024	3,921	4,156	2,750	1,183	218
2029	4,514	4,785	3,114	1,415	252
2034	5,197	5,509	3,526	1,694	290
Growth:	2,326	2,341	1,359	859	123

Source: US Census, Johnson Economics