

SUBCHAPTER 33: MIXED USE PEDESTRIAN FRIENDLY COMMERCIAL (MUPC) ZONE & DOWNTOWN OVERLAY ZONE

33.005 Purpose

The purpose of the Mixed Use Pedestrian Friendly Commercial (MUPC) zone is to:

- Allow a mixture of complimentary land uses that may include retail, offices, commercial services, housing, civic uses, to create economic and social vitality;
- Develop commercial and mixed-use areas that are safe, comfortable and attractive to pedestrians;
- Encourage pedestrian orientation while remaining accessible to automobiles within commercial areas located outside of the downtown area;
- Expand and strengthen the downtown commercial core while maintaining and enhancing the historic character of Independence;
- Encourage and promote the redevelopment of downtown, including housing, as a vibrant and successful mixed-use district;
- Emphasize bicycle and pedestrian connections along natural amenities, such as Ash Creek and the Willamette River, as a way of moving residents and visitors across town and improving connections to downtown;
- Create a strong link from the commercial core along Main Street to the amphitheater and the recreational land uses along the river and recognize key intersections as gateways and nodes of commercial activity;
- Maintain and improve natural areas as resources where possible and target environmental initiatives such as recycling programs and green building techniques; and
- Support the continued growth of local and living wage jobs and develop tools to market opportunities.

33.010 Downtown Overlay Zone

As used in this chapter, the Downtown Overlay Zone is defined as those properties zoned Mixed Use Pedestrian Friendly Commercial (MUPC) within the area described as follows:

-The area bounded on the north by A Street, bounded on the east by the Willamette River, bounded on the south by G Street and bounded on the west by Third Street, excluding Tax Lot No. 8428AC 00100 & Tax Lot No. 8428AB 02600 and as identified within the Downtown Overlay Zone on the Independence Zoning Map.

33.015 Permitted and Conditional Uses

Allowed permitted and conditional uses within the MUPC Zone are presented in Subchapter 30. Uses not listed in Subchapter 30 or uses that are listed in 33.018 are considered to be prohibited, except as provided in Section 10.050.

33.018 Prohibited Uses

Within the MUPC Zone and the Downtown Overlay Zone, the following uses shall not be permitted (see definitions found in Subchapter 13):

PROHIBITED USES	MUPC	Downtown Overlay
Drive-through Facility		X
Entertainment/Major Event		X
Self-Service Storage	X	X
Vehicle Servicing/Repair		X
Wholesale Retail	X	X
Heavy Industrial	X	X
Light Industrial		X
Manufacturing and Production	X	X
Warehouse and Freight	X	X
Waste-Related	X	X
Agriculture	X	X
Mining	X	X
Commercial Parking	X	X
Commercial Outdoor Recreation	X	X
Railroad Yards	X	X
Detention Facilities	X	X
Medical Marijuana Grow Site	X	X
Medical Marijuana Processing Site	X	X
Recreational Marijuana Producer	X	X
Recreational Marijuana Processor	X	X
Recreational Marijuana Wholesaler	X	X

33.021 Special Use Limitations for Marijuana Facilities

- A. At the time a Medical Marijuana Dispensary, Recreational Marijuana Retailer, Marijuana Research Facility, or Marijuana Testing Laboratory locates in the MUPC Zone, the Medical Marijuana Dispensary,

Recreational Marijuana Retailer, Marijuana Research Facility, or Marijuana Testing Laboratory may not be located:

1. Within 1,000 Feet of an Elementary or Secondary School; or
 2. Within 250 Feet of a Public Library, Public Park, Public Playground, Public Recreational Facility, or Public Athletic Field.
- B. A Medical Marijuana Dispensary, Recreational Marijuana Retailer, Marijuana Research Facility, or Marijuana Testing Laboratory must possess a valid business registration in accordance with Chapter 8 of the Independence Municipal Code, Article XII, Marijuana Facilities.
- C. A Medical Marijuana Dispensary, Recreational Marijuana Retailer, Marijuana Research Facility, or Marijuana Testing Laboratory may not include a Drive-Through Facility.
- D. A Medical Marijuana Dispensary, Recreational Marijuana Retailer, Marijuana Research Facility, or Marijuana Testing Laboratory located in the MUPC Zone must be located in a Building, as that term is defined in the Uniform Building Code.

33.030 Commercial Development Standards

A. Purpose and Applicability

The Commercial Development Standards include required 03. The standards are intended to encourage a similar pedestrian orientation as that found downtown while remaining accessible to automobiles.

All new construction and all remodels costing more than 60 percent of the existing building's assessed value, except single-family dwellings, are required to meet the Commercial Development Standards. Single-family dwellings shall comply with the standards for residential development found in Subchapter 20.

Where a proposal is for a change of use, alteration or addition to an existing development, the standards of this section apply only to the portion being altered or added. If the applicant can demonstrate that the implementation of the standard would be impractical due to the limited size and location of the improvement, the Community Development Director may waive any of the standards which are demonstrated to be impractical.

B. Standards

The Commercial Development Standards include three (3) main topics. The topics reflect the manner in which buildings are designed and developed.

Topic 1, "SITE" specifies the key development standards that impact the potential use and dimensions of the site.

Topic 2, "HEIGHT/BUILDING MASSING", specifies the development standards that impact the potential height and building massing.

Topic 3, "ARCHITECTURAL FEATURES", specifies development standards that require architectural details to the building.

Where a different standard applies to only Main Street within the Downtown Overlay, it will be indicated.

For further information, see Appendix 1: Commercial Development Standards, City of Independence (2009). Note: Information contained in Appendix 1 is for information purposes only. When a conflict exists between Appendix 1 and the Independence Development Code, standards contained in the Independence Development Code shall apply.

TOPIC 1: SITE

A. Standards for Drive-Through Facilities

1. Drive-in and drive-through facilities are prohibited within the Downtown Overlay.

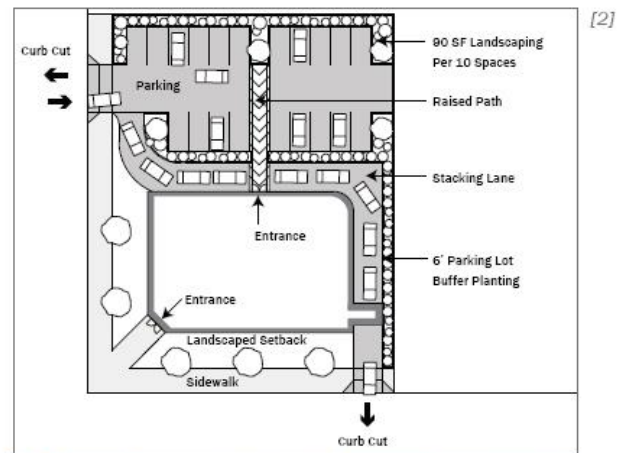
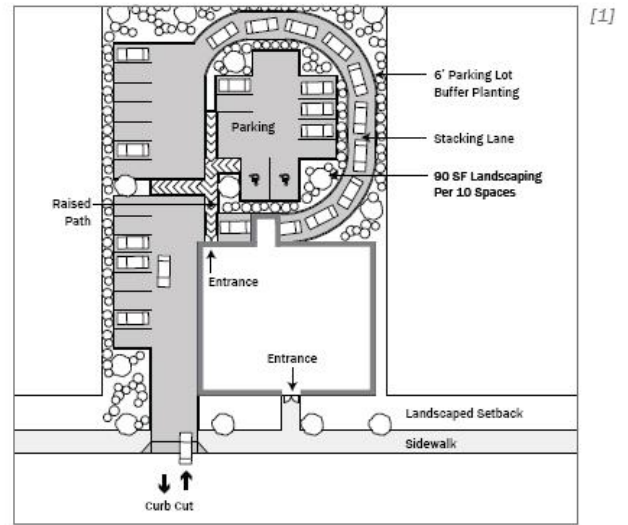
2. In the base Mixed-Use Pedestrian Commercial Zone (MUPC), drive-in and drive-through facilities shall meet the following standards:

a. Stacking areas may not be located between the building and the street.

b. Stacking areas must be a minimum of 150 feet long for a single lane and 80 feet long for multiple stacking lanes.

c. The stacking area may not interfere with parking and vehicular circulation.

d. Stacking lanes must be clearly identified with striping, signage, and changes in materials to avoid conflicts between automobiles and pedestrians.



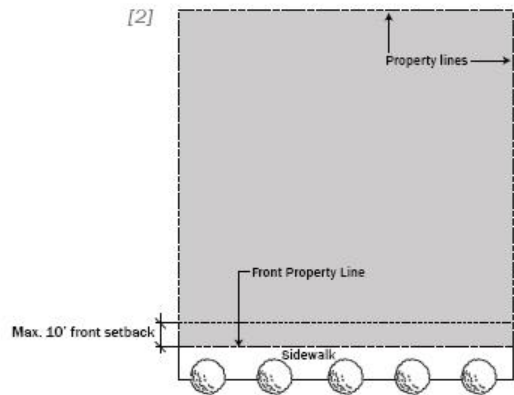
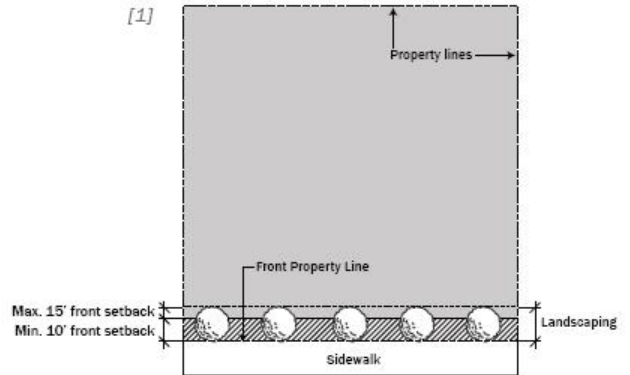
Drive Through Facilities. The impact of drive-ins and drive-throughs can be mitigated through [1] placing building at the front build-to line and separating stacking lanes and parking or [2] orienting the building to the corner and [3] providing entrances oriented to pedestrians.

B. Yards

1. In the Mixed-Use Pedestrian Commercial Zone (MUPC), the minimum depth of a front yard setback shall be 10 feet. The maximum depth of a front yard setback shall be 15 feet.

2. Setbacks in the MUPC Zone shall be landscaped with a combination of ground cover, shrubs, and trees that are approved by the City of Independence. See the Site Landscaping Standard in Section 33.030.E below for more detail on approved plantings.

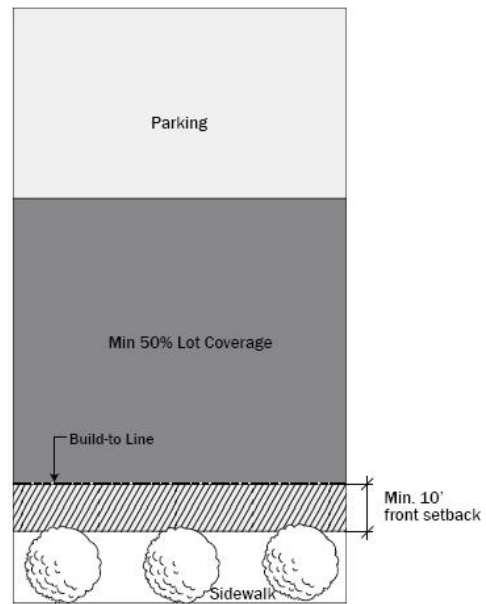
3. In the Downtown Overlay along Main Street only, the maximum depth of a front yard setback shall be 0 feet. In the remainder of the Downtown Overlay, the minimum depth of a front yard setback shall be 0 feet and the maximum depth shall be 10 feet.



Yards. [1] Larger front setbacks in the MUPC Zone soften the edge by allowing for more landscaping while still creating a more built-up edge, especially along Monmouth Street, that provides an attractive pedestrian environment [2] In the Downtown Overlay, lower maximum setbacks encourage a more urban, built-up condition that translates into a more uninterrupted pedestrian environment.

C. Lot Coverage

In the Downtown Overlay portion of the Mixed-Use Pedestrian Commercial Zone (MUPC), the minimum lot coverage for buildings shall be 50%. There is no minimum or maximum lot coverage requirement for MUPC-zoned properties outside of the Downtown Overlay District.



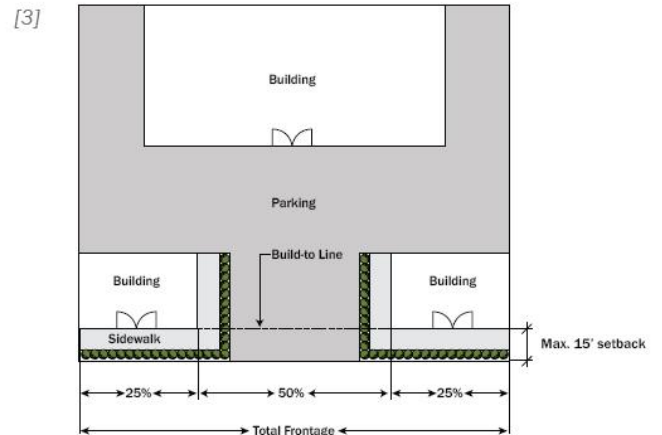
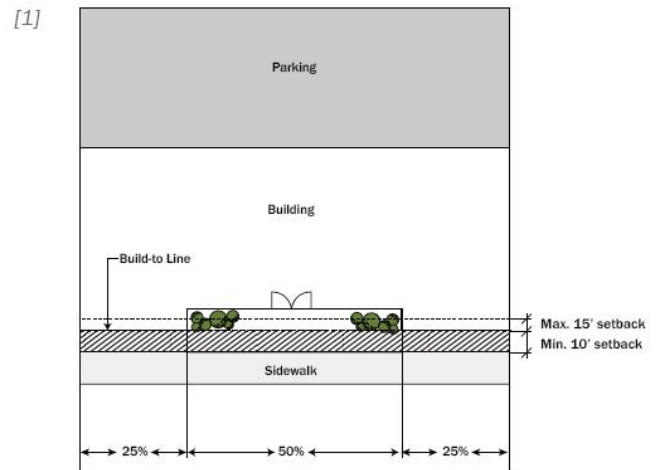
[1]

Lot Coverage. [1] A minimum lot coverage promotes a more built-up urban character that is associated with pedestrian-oriented commercial districts while still providing space for on-site parking.

D. Build-to Line

1. In the Mixed-Use Pedestrian Commercial Zone (MUPC), 50% of the overall development length of a building shall be placed along a build-to-line located at the front edge of the setback. This standard applies to multiple buildings on a single lot.

2. In the Downtown Overlay along Main Street only, 100% of the overall development length shall be placed along the build-to-line located at the front property line. The remainder of the Downtown Overlay shall follow the base MUPC build-to-line requirements.



Build-to Line. [1] Placing 50% of the total development length of the building at the front edge of the property creates a contiguous, cohesive pedestrian environment [2] 100% of the development length must be brought to the front edge of the property along Main Street in order to promote development that is of a similar scale and character as the existing context [3] If more than one pad is proposed, pads shall be located at the front corners of the lot in order to anchor the edges of the property.

E. Site Landscaping

1. A minimum of 15% of the site shall be landscaped. Interior parking lot landscaping may be applied to meet this minimum. No minimum landscaping shall be required in the Downtown Overlay.

2. Landscaping shall be provided in the form of a dedicated landscape zone that has, at a minimum, a rate of 1 tree and 3 shrubs per every 400 square feet of contiguous open space. Remaining area within the 400 square foot open space area shall be planted with ground cover, including grass, that fills the area after 3 years.

3. Up to 30% of the landscaping requirement for the site may be dedicated to hardscape – walkways, plazas and small gathering areas. Every attempt shall be made to use permeable materials such as grasscrete, gravel or pervious asphalt.



Site Landscaping. [1] A minimum of 15% of the site should be landscaped [2] Up to one-third of the landscape may be hardscape such as a walkway, plaza, or small gathering area [3] Whenever possible, stormwater detention and retention facilities should be incorporated into the landscape.

F. Parking and Access

1. Parking shall be prohibited between the front of the building and the street. Except along Main Street, parking may be allowed on the side of the building provided that:

a. Parking is set back a minimum of ten (10) feet and a maximum of 15 feet from the front property line, corresponding with the front setback. In no instance shall parking extend in front of the building setback.

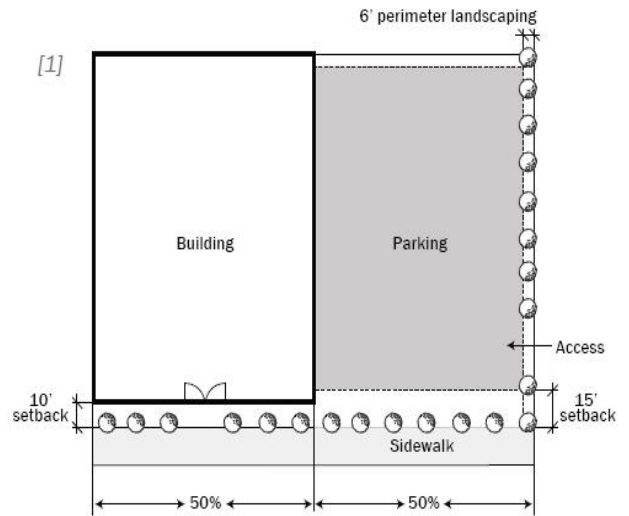
b. Parking area does not exceed 50% of the total frontage of the site.

2. Parking must be landscaped per the Off-Street Parking Lot Landscaping Standard found in Section 33.030(G) below.

3. Internal pedestrian connections shall be provided in parking lots with greater than ten (10) spaces. These connections shall be a minimum of six (6) feet wide and distinguished from vehicular areas through changes in elevation or materials.

4. Off-street parking areas shall be developed in accordance with the requirements found in Subchapter 73. There is no parking minimum in the Downtown Overlay zone.

5. Heavy trucks shall be allowed along Main Street and Monmouth Street provided that they service the business from the alley or side street where possible.



[2]



Parking and Access. Parking is prohibited between the front of the building and the street in order to create a more cohesive and continuous pedestrian experience [1] Parking may be located to the side if it does not exceed 50% of the total site frontage [2] Clearly marked, attractive, safe pedestrian paths through parking lots should be provided to reduce conflicts with automobiles.

G. Off-Street Parking Lot Landscaping. In regulating off-street parking lots, the following landscape standards shall apply:

1. Perimeter landscaping

a. In all parking lots a minimum perimeter of six (6) feet shall be landscaped within the front and side yard setbacks in order to buffer the parking lot. This six (6) foot wide strip shall be landscaped with noninvasive ground cover (including grass), shrubs that are a minimum of three (3) feet high after two (2) years and form a continuous screen, and approved street trees that are a minimum a 2.5" caliper and planted at a rate of one (1) every 25 feet.

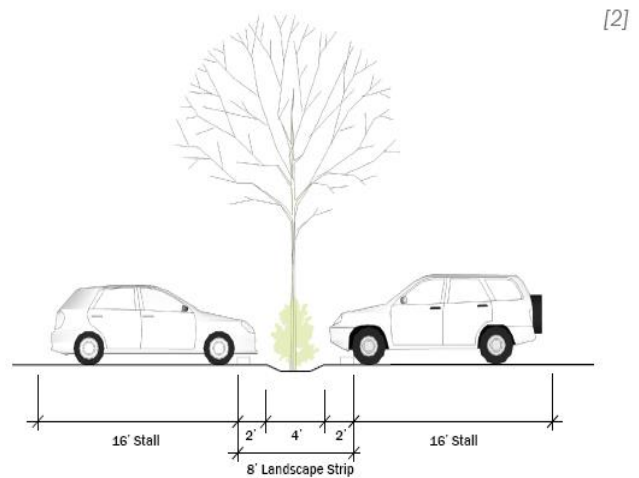
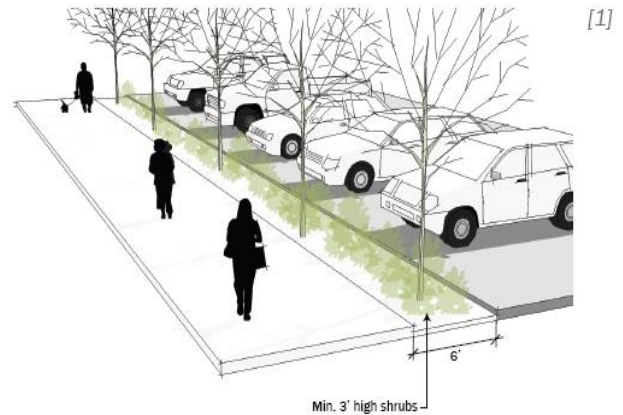
b. A 3-foot high wall or planter constructed of either concrete or masonry may be substituted for ground cover to screen the sidewalk from parking.

2. Interior landscaping

a. In parking lots that have more than ten (10) parking spaces, there shall be a minimum of 200 square feet of landscaping per every ten (10) spaces that includes two (2) shade trees for every ten (10) spaces.

All planting must be approved by the City of Independence in accordance with the landscaping requirements found in Subchapter 54.

Note: Perimeter landscaping may not serve as a substitute for interior landscaping.



Off-Street Parking Lot Landscaping. Parking lot appearance and functionality can be improved by [1] a minimum perimeter setback of 6 feet with ground cover, shade trees, and shrubs that are a minimum of 3 feet high [2] internal landscaping strips that are a minimum of 8 feet wide [3] and stormwater detention and retention landscaping that reduces run-off while also providing a buffer between parking and pedestrians.

Note: Landscaping strips between (face-to-face) parking spaces should be a minimum of eight (8) feet wide and consist of continuous ground cover, drought tolerant shrubs at a rate of 1.5 shrubs per space, and at least two trees per every ten (10) spaces. Landscaping strips may take up to two (2) feet of the front of each parking space, allowing the car to overhang the planted area.

Note: Wherever possible, parking surfaces should direct drainage toward planting areas, reducing stormwater run-off and improving water quality. Pervious materials are highly recommended for parking surfaces. Such materials include grasscrete, modular pavers, and pervious asphalt.

TOPIC 2: HEIGHT/BUILDING MASSING

H. Height

1. In the Mixed-Use Pedestrian Commercial Zone (MUPC), the maximum height, when measured from the average of the streetside elevation, is:

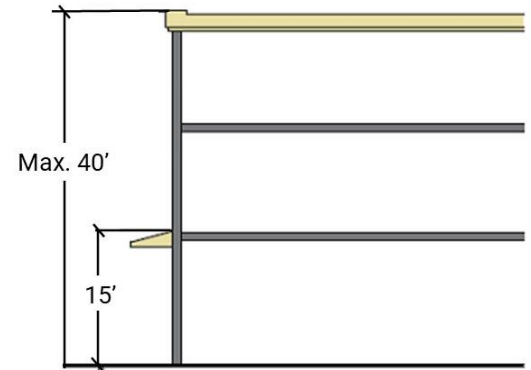
- a. 40 feet in the Downtown Overlay Zone and along the two blocks on the east side of Main Street from G Street to I Street.
- b. 45 feet outside the areas identified in (B)(1)(a).

2. Outside of the Downtown Overlay Zone and the Small Areas of Main Street identified in (B)(1)(a), height bonuses may be applied to extend the height of a building to a maximum of 55 feet (measured to the top of the parapet or the midpoint of the gable) if any one of the following amenities are provided in a development:

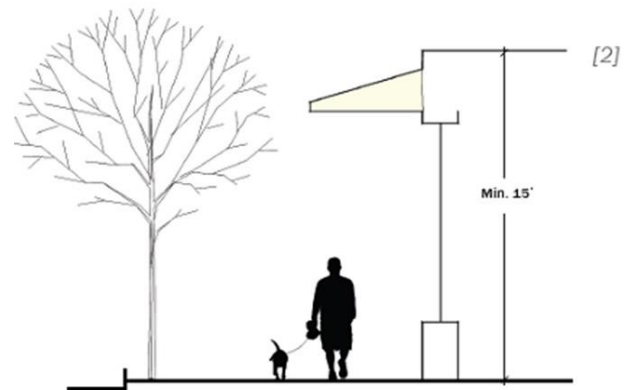
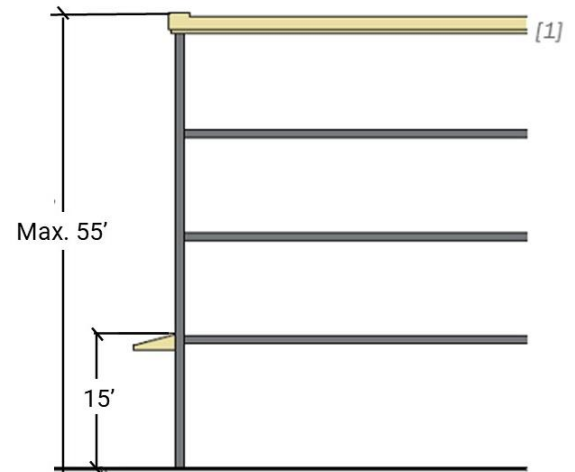
- a. Outdoor recreation facilities including things like basketball courts, tennis courts, swimming pools
- b. Common open or green spaces for community gathering
- c. Children's play areas with play structures
- d. Three-bedroom units
- e. Solar Panels for solar water heating and electricity.

3. Buildings in the MUPC zone shall have a minimum ground floor to ceiling height of 15 feet.

Downtown Overlay Zone Height



Maximum Height Outside Downtown Overlay Zone



Height. [1] Buildings with height bonuses should not exceed 55 feet in height measured to the top of the parapet or the midpoint of the gable [2] The ground floor should be 15 feet tall and transparent in order to foster an attractive pedestrian realm and promote more flexible building spaces.

4. There shall be a minimum of two (2) stories in the Downtown Overlay.

I. Length

Buildings that have a facade length that exceeds 100 feet must have the appearance of multiple attached buildings.

J. Main Entrance/Front Door

A direct pedestrian connection shall be provided from the main entrance on the front facade of the building to the sidewalk.



Main Entrance/Front Door. [1] Buildings should have a direct pedestrian connection from the front door of the building to the sidewalk [2] Storefront entries can be designed with overhangs, canopies, porticos, clerestory windows, or large entry doors [3] Building entries can be oriented to the corner and chamfered to create visual interest and places for people to gather.

K. Ground Floor Windows

1. Transparent windows shall be required along a minimum of 60% of the length of the ground-level street-facing façade and 60% of the overall ground floor street-facing wall area, defined as the first floor of a building that is used and directly accessible from the exterior finished grade.

2. On side facades facing an alleyway or side street, facades shall provide windows along 50% of the alley length or side street facing facade and 25% of the overall facade. The back of the building has no windows requirement.

3. Doors facing the street shall consist of a minimum of 40% transparent glazing.



Ground-Floor Windows. [1] Using transparent windows along a minimum of 60% of the length of the ground-level street-facing facade and 60% of the overall ground-floor area provides transparency so that [2] pedestrians can see inside the building [3] Ground floor windows that incorporate vertical and horizontal elements help the ground-floor of the building relate to the scale of a pedestrian.

L. Exterior Display

The following exterior activities shall be allowed in the proposed Mixed-Use Pedestrian Commercial Zone (MUPC) Zone, provided that they leave a five (5) foot clear pedestrian path for unrestricted movement and are an extension of the interior use:

1. Outdoor eating
2. Outdoor produce markets and flower stands
3. Temporary displays of merchandise or wares (limited in duration to one week).



Exterior Display. The exterior display of merchandise and materials is prohibited except when it adds to the intrigue of the public realm without detracting from the overall character of the district by creating a cluttered environment. The following uses are permitted [1] outdoor eating [2] outdoor produce markets and flower stands [3] temporary displays of merchandise or wares.

TOPIC 3: ARCHITECTURAL FEATURES

M. Roof Forms

1. For flat roofed buildings:

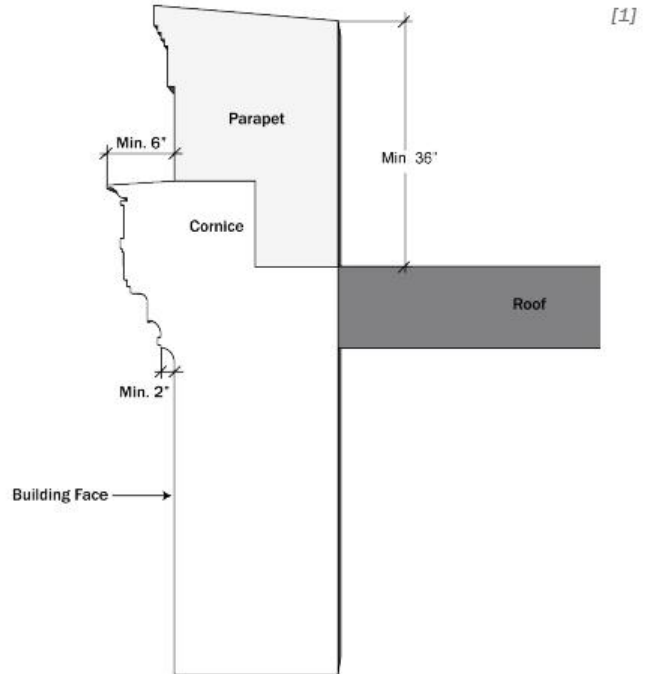
a. Parapets shall be a minimum of three (3) feet in height.

b. Cornices shall meet the following requirements:

i. The top of the cornice is a minimum of six (6) inches from the face of the building and the base of the cornice is a minimum of two (2) inches from the face of the building

ii. The total height of the cornice on buildings 15 feet or less is a minimum of 12 inches, on buildings between 15 and 30 feet is a minimum of 18 inches, and on buildings taller than 30 feet is a minimum of 24 inches.

2. Pitched roofed buildings shall follow the Residential Design Standards Roof Forms Standard found in Subchapter 22.



Roof Forms. [1] Roof forms should distinguish buildings in commercial districts [2] Cornices should have a top that is a minimum of 6 inches and a base that is a minimum of 2 inches from the face of the building.

N. Bicycle Parking

1. Bicycle parking (racks) shall be provided within 50 feet of the main entry of a building.
2. Parking shall be provided at a minimum rate of two (2) spaces per business.
3. Bicycle parking shall be provided in accordance with Subchapter 73.

[1]



[2]



Bicycle Parking. Attractive bicycle parking facilities promote alternative transportation [1] Short-term bicycle parking can be a design feature within a district [2] Covered parking allows year round use.

O. Building and Parking Lot Lighting

1. Colored light bulbs and internally lit awnings or canopies shall be prohibited for buildings and within parking lots, except for temporary holiday displays.

2. The following standards shall apply to lighting on buildings and within parking lots:

a. Building lighting shall be integrated with the architecture. If it is applied to the facade, goose neck fixtures or wall sconces are preferred.

b. Maintain the following minimum to maximum ratios:

i. Downtown Overlay Streets: 3 to 1

ii. Residential Streets: 6 to 1

iii. Residential Walkways/Rural Areas: 10 to 1

Note: The maximum to minimum ratio measures how light is perceived in relation to its surrounding. A smaller ratio (e.g. 3 to 1) suggests a more even distribution of light; whereas a larger ratio suggests a less even distribution of light).

c. Parking lot lighting shall emit on average 0.6 to 0.8 foot candles and shall not exceed an average height of 30 feet.

[1]



[2]



Building and Parking Lot Lighting. Building lighting should be in the form of [1] goose neck fixtures or sconces [2] Outdoor lighting, including parking lot, public street, and pedestrian lighting, should allow a maximum of 5% of the lamp lumens above the horizontal.

- d. Pedestrian lighting shall not emit more than 1.1 foot candles and shall not exceed an average height of 20 feet.
- e. Interior display windows shall be designed to be illuminated in evening hours, with provisions for reduced illumination late in the evening.
- f. Outdoor lighting, including parking lot lighting and public street and pedestrian lighting, shall allow a maximum of 5% of the lamp lumens above the horizontal.

33.035 Additional Development Standards

In addition to the Commercial Development Standards described in Section 33.030 above, all developments in the MUPC Zone shall comply with the following specific standards:

- A. Off-Street Parking. Off-street parking shall be as specified in Subchapter 73.
- B. Signs. Signs shall be subject to the provisions of Subchapter 58.
- C. Landscaping. All development is subject to the landscaping provisions in Subchapter 54.
- D. Subdivisions and Partitions. All subdivisions and partitions shall be reviewed in accordance with the provisions of Subchapter 90.
- E. Site Design Review. All new development and expansion of an existing structure or use in the MUPC Zone shall be subject to the Site Design Review procedures of Subchapter 80.
- F. Downtown Overlay Design Standards and Guidelines Review. Development within the Downtown Overlay shall be subject to the Downtown Overlay Design Standards and Guidelines review procedures set forth in Section 33.040.
- G. Stormwater Facilities. All stormwater facilities shall comply with the requirements of the Independence Public Works Design Standards.
- H. Access. Access points to property from a street shall be located to minimize traffic congestion, and maximum effort shall be made to avoid directing traffic into residential areas. Existing access roads and access points shall be used to the maximum extent possible to serve the greatest number of users. All access roads and driveways shall be surfaced with asphaltic concrete or similar permanent surfacing.

33.040 Downtown Overlay Design Standards and Guidelines

A. Purpose. In an effort to protect and enhance the downtown core area of Independence, the City has adopted a special set of design standards and guidelines. The Downtown Overlay Design Standards and Guidelines shall apply only to properties that are zoned MUPC in the Downtown Overlay Zone.

The design standards and guidelines are intended to:

- Provide a structure to explain to developers, property owners, architects, planners, elected officials, and citizens what types of projects comply with the community's vision for a vibrant and active downtown.
- Ensure that future development is consistent with the downtown core's existing pedestrian-oriented scale of buildings.
- Strengthen the downtown as the heart of the community, and as the place for people and business.
- Enhance the physical appearance of downtown through high-quality design.
- Maintain and enhance the historic character of Independence.

For further information, see Appendix 2: Design Standards and Guidelines, City of Independence (2009). Note: Information contained in Appendix 2 is for information purposes only. When a conflict exists between Appendix 2 and the Independence Development Code, standards contained in the Independence Development Code shall apply.

B. Applicability. All new construction and all remodels costing more than 60 percent of the existing building's assessed value, except single-family dwellings, are required to meet the Downtown Overlay Design Standards or Guidelines in addition to, the commercial development standards and additional development standards found in this subchapter.

C. Design Standards and Guidelines. The design standards and guidelines help guide the development and redevelopment of properties within the Downtown Overlay zone. They are intended to provide a framework for how Downtown Independence should look, function and feel.

The design standards and guidelines consist of two primary elements:

- Intent Statement/Design Guideline: Presents the big idea or goal to be accomplished through the standard (ex. "Create a streetscape at the ground floor that is active and inviting")

Approach(es): Lays out the methods which applicants can use to meet the Intent Statement (ex. “Divide the ground floor into architectural bays”).

D. Application Process. Planning staff or the Planning Commission (as described below) shall approve, approve with conditions, or deny an application based upon compliance with the design standards or guidelines. Approval shall be obtained from the review authority prior to the issuance of a building permit for all non-exempt development. Non-exempt development in the Downtown Overlay zone has two tracks for obtaining development permits.

1. Track 1 - Administrative Review of Compliance with Design Standards. Under the Track One process, the applicant is provided with a "menu" of clear and objective approaches that they can chose in order to meet the design standards and guidelines intent statements. A Track One application is reviewed administratively by City of Independence Planning Staff as a Type 1 Action.

In many cases, the same approaches are presented as a means to achieving different design standards. In the event that a specific approach has already been used to meet a previous design standard, the applicant is required to choose an alternative approach for another design standard or another requirement within the design standard. The applicant is required to meet all of the design standards.

2. Track 2 – Discretionary Review of Compliance with Design Guidelines. If an applicant chooses not to respond to the design standards and instead proposes a more creative response to meeting the intent statements, they follow a Track Two process. The intent statements become the criteria for determining whether or not the objective of the design standard is being accomplished. The applicant is required to explain via a narrative and basic drawing set (site plan, building elevations and materials board) how the project meets the design guideline/intent statements.

Applicants who opt for the Track Two approach are required to meet all of the intent statements/design guidelines i.e. they must go through design review, a discretionary process, to explain how their project will meet all the design guidelines. The project shall be reviewed by the Planning Commission for compliance with the design standards and guidelines as a Type II action.

E. Approval Process. Under the Track One process, the City of Independence Planning Staff shall use the standards in this section to ensure compliance with the development and design standards. Under the Track Two process, the City of

Independence Planning Commission shall use the intent statements in this section to ensure compliance with the development standards and design guidelines.

F. Design Standards and Guidelines.

1. Building Divisions

a. Intent Statement/ Design Guideline.

Build upon Independence’s historic downtown architecture by creating an attractive and unified tripartite façade that celebrates the ground floor and the middle and top of the building.

b. Approaches

Create street-facing building facades that articulate a clear and distinct base, middle, and top to break up the vertical massing of the building. Utilize banding and changes in color and/or material to emphasize horizontal breaks in the building plane. This standard applies to buildings of all heights and number of stories.

There are three required approaches to meet this standard.

- i. Ground Floor - Base: The base of the ground floor extends from the top of the finished grade or sidewalk to the bottom of the window sill. In order to create a discernible base that anchors the building, applicants shall include at least one of the following elements in the base of the ground floor:

Tripartite Facade



The bottom, middle, and top are distinct and readable and help to break up the building’s mass.

Base



Brick soldier course defines bottom of base of ground floor and horizontal banding of a different color defines top of base.

Projected window sills 12 to 24 inches high and bulkhead using distinct materials define bottom of base and awnings define top of base.



Large storefront windows, awnings, and a tall ground floor height enhance the character of the ground floor. Plinths, a projected soldier course, and the bulkhead articulate the base.

- Projected window sills (12 - 24 inches above grade)
- Masonry or finished concrete plinth
- Bulkhead constructed of concrete, brick, or stone

Ground Floor - Middle:

The middle of the ground floor is typically compromised of a storefront window. The middle section of the ground floor should contain at least one of the following elements:

- Integrated horizontal and vertical window mullions
- Window planter box (minimum of two)
- Decorative building light fixture or wall sconce.

Middle



Vertically oriented windows signaling a change in use, horizontal bands, signage bands, balconies, awnings, and a brick soldier course distinguish the middle of the building from the ground floor.



Change in color and material, vertically oriented windows signaling a change in use, and balconies distinguish the middle of the building.



Vertically oriented windows signalling a change in use and horizontal banding distinguish the middle of the building.

Ground Floor - Top: The top of the ground floor façade is the area between the storefront and the upper stories of the building. The top of the ground floor should contain at least one of the following elements:

- A marquee or projecting blade sign (8'-12' above grade)
- Sign frieze
- Storefront awning or canopy (8'-12' above grade)
- Storefront cornice or belt course

- Transom Window

ii. **Middle:** The middle of the building often contains smaller, vertically-oriented windows to reflect changes in use on upper floors. To distinguish the middle of the building from the top and base, applicants should incorporate two of the following types of elements:

- Vertically oriented windows
- Changes in color
- Stepbacks
- Horizontal band(s)/signage bands
- Bay windows
- Balconies
- Brick reveal/soldier course (vertically oriented brick)

Note: Horizontal bands should be a minimum of 8 inches high (the length of a standard brick) and can be formed by a change in materials, color, brick orientation, or by projecting materials from the face of the building.



A detailed cornice and projected parapet are cap elements.



A gabled roof establishes a distinct profile and caps the facade.



A gable roof with a hip emphasizes the top of the building.



A green roof terminates the top of the building and provides visual interest.

- iii. Top: The top of the building shall include a “cap” element at the upper most portion of the facade in order to visually terminate the building face and emphasize a distinct profile.

To create visual interest at the top of the building, applicants shall incorporate one of the following elements:

- Detailed cornice or projected parapet
- Hipped or gabled roof
- Roof top gardens that consist of plant materials visible from the sidewalk and street

Note: Roof gardens represent a unique and beneficial approach to treating the top of the building. Beyond their aesthetic benefits, rooftop gardens help manage stormwater run-off that would otherwise go into storm sewers, aquifers, and streams. In addition, rooftop gardens help mitigate the heat island effect by reducing the temperature and, therefore, providing energy savings and air quality. Green roofs can also provide a food source.

2. Pedestrian Engagement

a. Intent Statement/ Design Guideline

Create a streetscape at the ground floor level that is active and inviting to passing pedestrians, bicyclists, and motorists by incorporating vertical and horizontal divisions, cohesive and repetitive architectural elements, and welcoming entries into the street-facing facade that are understandable at the human scale.

b. Approaches

Architectural bays are the larger “building blocks” of a pedestrian-oriented ground floor. They create a sense of rhythm and break down a large building into pieces. Repetitive architectural elements within these bays further create a sense of rhythm and offer components that can be understood at a human scale. When paired with prominent entries, these elements translate into an inviting storefront presence along the sidewalk that is easily accessible and reflects historic precedents of gracious retail spaces. As pedestrians pass, there are many parts of the building upon which the eye can linger that help establish a sense of scale.

There are three required approaches to meet this standard:

i. Divide the ground floor of commercial storefronts into, where possible, an odd number of distinct architectural bays that are a maximum

Divide Ground Floor



Ground floor divided into an odd number of distinct architectural bays that are 30 feet wide and defined through engaged columns. Transom windows and projected window sills are repeated in each distinct architectural bay.

Foster Pedestrian Interaction



Large windows, clerestory and transom windows, columns, and pedestrian oriented signage.



Large glass entry door, large windows, transom windows, columns, and pedestrian oriented signage.



Decorative lighting, canopies, and a storefront frieze.



Large windows, recessed entry, pedestrian oriented signage, and decorative lighting.

of 30 feet wide measured from the center line of the columns. An odd number of bays will provide more symmetry and emphasize the entry. For the purposes of this standard, an architectural bay is defined as the zone between the outside edges of an engaged column, pilaster, post, or vertical wall area.

ii. Provide a minimum of three of the following architectural and decorative elements that are to be repeated within each distinct architectural bay:

- Clerestory or transom windows
- Overhangs (canopies, awnings)
- Plinths or columns (minimum of a pair)
- Decorative lighting (minimum of a pair)
- Signage (awning, blade, wall or window)
- Canopies or overhangs
- Storefront frieze, horizontal sign band, or a belt course above transom window on a mezzanine level
- Window plant box (minimum of one per window)
- Medallion (minimum of a pair).

Note: The depth of all canopies and awnings shall be a minimum of 5 feet measured from either the face of the column or the street-facing elevation.

Note: Where feasible, building faces along an alley should be enhanced with windows and lighting to increase pedestrian safety and interest.



Large glass entry door, transom windows, glass windows flanking the entry door, awnings, plinths and columns, and decorative lighting. Benches provide places for passing pedestrians to pause and rest.



Decorative lighting, blade sign, transom windows, and pedestrian oriented signage.



Decorative lighting, transom windows, columns, and medallions.

Note: The use of mirrored or tinted glass is prohibited.

iii. Create a prominent entry by incorporating three or more of the following elements:

- Large glass entry doors
- Clerestory or transom windows
- Glass windows that flank the door
- Recessed entry bays
- Signage (awning, blade, wall or window)
- Decorative lighting (minimum of a pair)
- Pavers and colors that mark entry to the building
- Awnings or canopies

Note: Awning and blade signs shall be a minimum of 8' 6" off the ground and not exceed 12% of the building elevation area, with a maximum sign face area of 60 square feet. Wall signs shall not exceed 8% of the building elevation on the primary frontage, with a maximum sign face of 60 square feet. Window signs shall not exceed 15% of total window area.

Create a Prominent Entry



Large glass entry doors, transom windows, recessed entry bay, and pavers and colors that mark entry.



A recessed entry bay, large glass entry door, glass windows flanking the door, and columns.



Decorative lighting, overhang, transom window, recessed entry bay, and large glass entry doors.



Large glass entry door, transom windows, recessed entry bay, signage, and decorative lighting.

3. Corner Reinforcement

a. Intent Statement/ Design Guideline

Emphasize the intersection of streets to provide dynamic public spaces where people’s paths intersect, articulate gateways into and within a district, provide a means of way finding, and reflect historical structures of import in the downtown.

b. Approaches

Street corners where two streets intersect and paths meet should be designed as a node of social and economic activity. This should be achieved through a distinctive architectural treatment. Incorporating strong architectural elements at street corners not only creates a more visually interesting built environment but also helps pedestrians read and understand city blocks by creating memorable design elements at the corner of each block.

Chose one or more of the following architectural and site planning strategies to emphasize the corner:

- Locate the primary entry to the building at the corner of the building or within 25 feet of the corner of the building.
- Incorporate prominent architectural elements, such as increased height or massing, a cupola, a turret, or a pitched roof, at the corner of the building or within 25 feet of the corner of the building

Emphasize the Corner



Primary entry within 25 feet of corner and prominent turret articulate gateway into downtown and provide a means of way finding.



Primary entry located on the corner creates public meeting space.



Primary entry on the corner and increased height provide public meeting space and reflects historical structures.



Primary entry on the corner and increased height provides public meeting space and reflects historical structures.



Primary entry located on the corner, chamfered corner, and street furnishings provide public gathering space.



Primary entry located within 25 feet of corner, increased height at the corner and overhangs, and projecting blade sign provide a means of way finding.

- Chamfer the corner of the building (i.e. cut a corner at a 45 degree angle at a minimum depth of 10 feet from the corner) and incorporate a combination of paving materials that are not concrete, street furnishings, and plantings.



Primary entry located within 25 feet of corner, increased height at the corner with a pitched roof, special pavings and plantings provide public gathering space, articulate a gateway into the district, and provide a means of way finding.

4. Transitions from the Public Realm

a. Intent Statement/Design Guideline

Design safe and friendly semi-public transitions between the public and private realms (between the sidewalk and building) that allow people to gather informally and interact with pedestrians in a more intimate space.

b. Approaches

To reinforce the pedestrian realm and encourage people to gather, applicants shall implement one of the following:

- **Courtyards:** incorporate a small courtyard into the design of the street-facing facade. Further embellish the space by incorporating exterior lighting, paving, benches, and planter boxes.
- **Recessed zone:** create a small, covered transition zone between the sidewalk and the front door. Define this space with lighting, paving, and storefront windows and doors.
- **Corner of buildings:** create meeting places at the corner of the building by chamfering the corner of the building. Define the space with special paving and lighting.
- **Arcade/porch:** Set the front door and the primary street-facing facade a minimum of 5 feet clear behind an arcade.

Semi-Public Transitions



Courtyard defined by fence and line of trees with windows fronting.



Courtyard with exterior lighting, fence, and planter boxes.



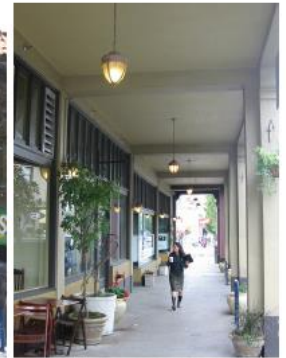
Courtyard defined within building facade with fences and planter boxes.



Recessed entry defined by special lighting and storefront windows and doors.



Recessed entry on corner provides meeting point defined by signage and special lighting.



Arcade provides opportunity for gathering in an intimate space.

Note: When approaches above are used in buildings along Main Street, their use shall not prevent an applicant from meeting the Build-to-Line Standard requiring 100% of the building being placed along the front-edge of the property line.

Note: Where possible, windows should be incorporated into all walls that face courtyards. These windows should be large enough to encourage interaction between inside and outside.

Note: Arcades are typically located on the front property line. Other architecture and landscape architecture elements that allow people to gather include pergolas, moveable planters, and wrought iron or other types of transparent decorative metal fences. For arcades, spacing between detached columns or posts forming the arcade along buildings less than 50 feet in length should be a minimum of 5 feet apart and a maximum of 10 feet apart. Columns for buildings greater than 50 feet in length should be spaced a minimum of 10 feet apart and a maximum of 20 feet apart.

5. Materials

a. Intent Statement/ Design Guideline

Promote the use of traditional and contemporary architectural materials that provide a sense of permanence and reflect the history of the City without replicating traditional building practices.

b. Approaches

Building materials are essential to the overall character and quality of development. Materials are especially important to the development of an inviting ground floor, given that this is where materials can be most easily experienced at the scale of pedestrians. How building materials are used adds texture and richness to the pedestrian experience.

Changes in material should ideally occur where there is a break in plane and should be used to break up vertical mass (see Tripartite Facades).

The applicant shall incorporate one of the following primary building materials into the street-facing facade, covering a minimum of 70% of the street-facing facade or greater:

- Brick
- Stone
- Stucco

Note: Where possible, use local materials found within the region.

High-Quality, Historic Materials



Brick



Brick



Stone



Stone



Stucco



Stucco